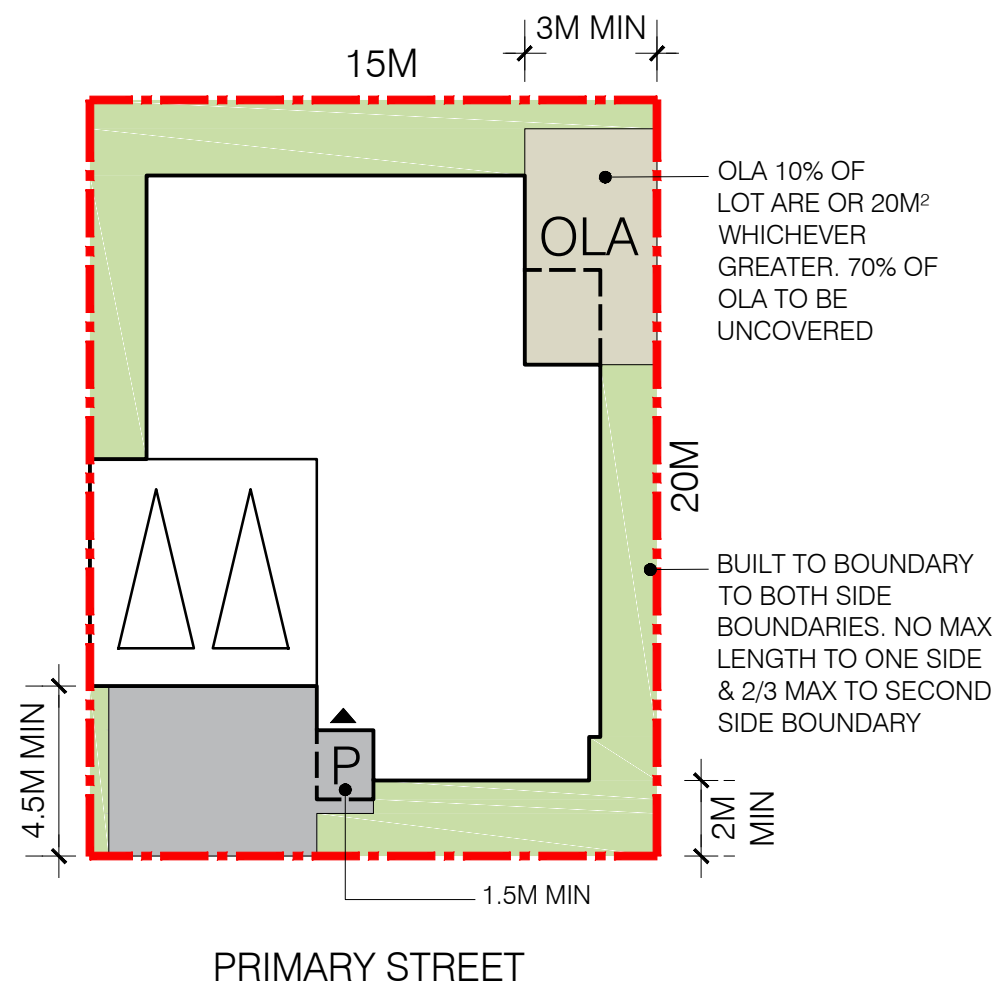


TYPICAL BUILDING FOOTPRINT



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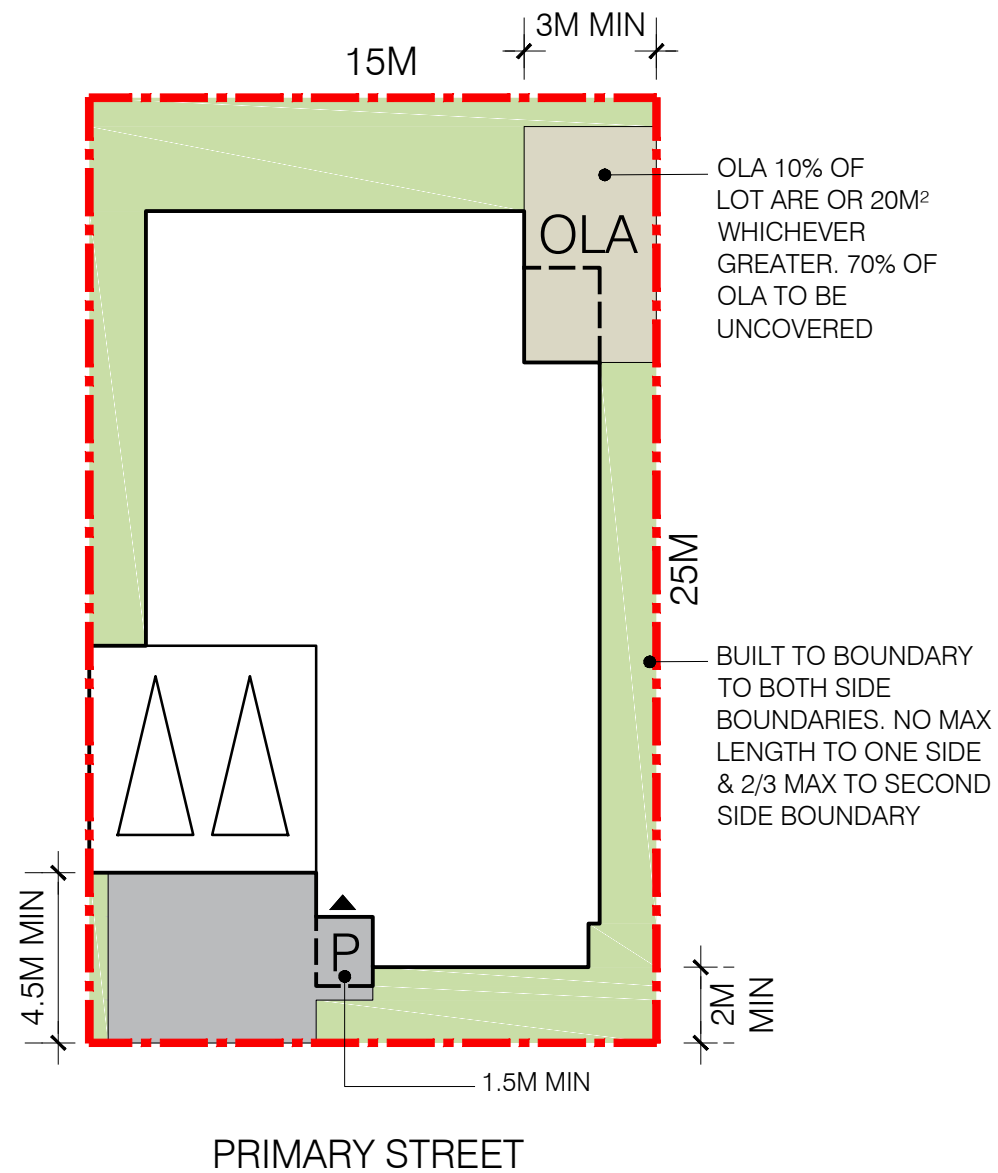
LOCATION PLAN



DEVELOPMENT PROVISIONS

Street Setbacks	Lot Boundary Setback	Open Space	Garage Setback and Width	Parking	Overshadowing	Privacy
Primary Street: Min 2m (no average) 1.5m to porch/verandah (no max length) Secondary Street: Min 1m	Boundary Setbacks: 1m (minor opening) to 1.2m (major openings) for wall height 3.5m or less Boundary Walls: To both side boundaries subject to: • 2/3 max length to one side boundary • 1/3 max length second side boundary for wall height 3.5m or less	Outdoor living area (OLA) with an area 10% of lot size or 20m ² , whichever is greater, directly accessible from a habitable room and to be located behind street setback At least 70% of OLA to be uncovered OLA to have a min 3m length and width No other open space provisions apply	Min 4.5m garage setback to primary street and 1.5m from a secondary street	Two on-site bays	No max overshadowing for wall height 3.5m or less No max overshadowing for wall height 3.5m or more where overshadowing is confined to front half of adjoining lot. If overshadowing intrudes rear half of lot shadows not to exceed 35%	3m setbacks to neighbouring bedrooms and studies 4.5m to major openings other than bedrooms and studies 6m to unenclosed outdoor active habitable spaces

TYPICAL BUILDING FOOTPRINT



1:200 @ A3

LOCATION PLAN

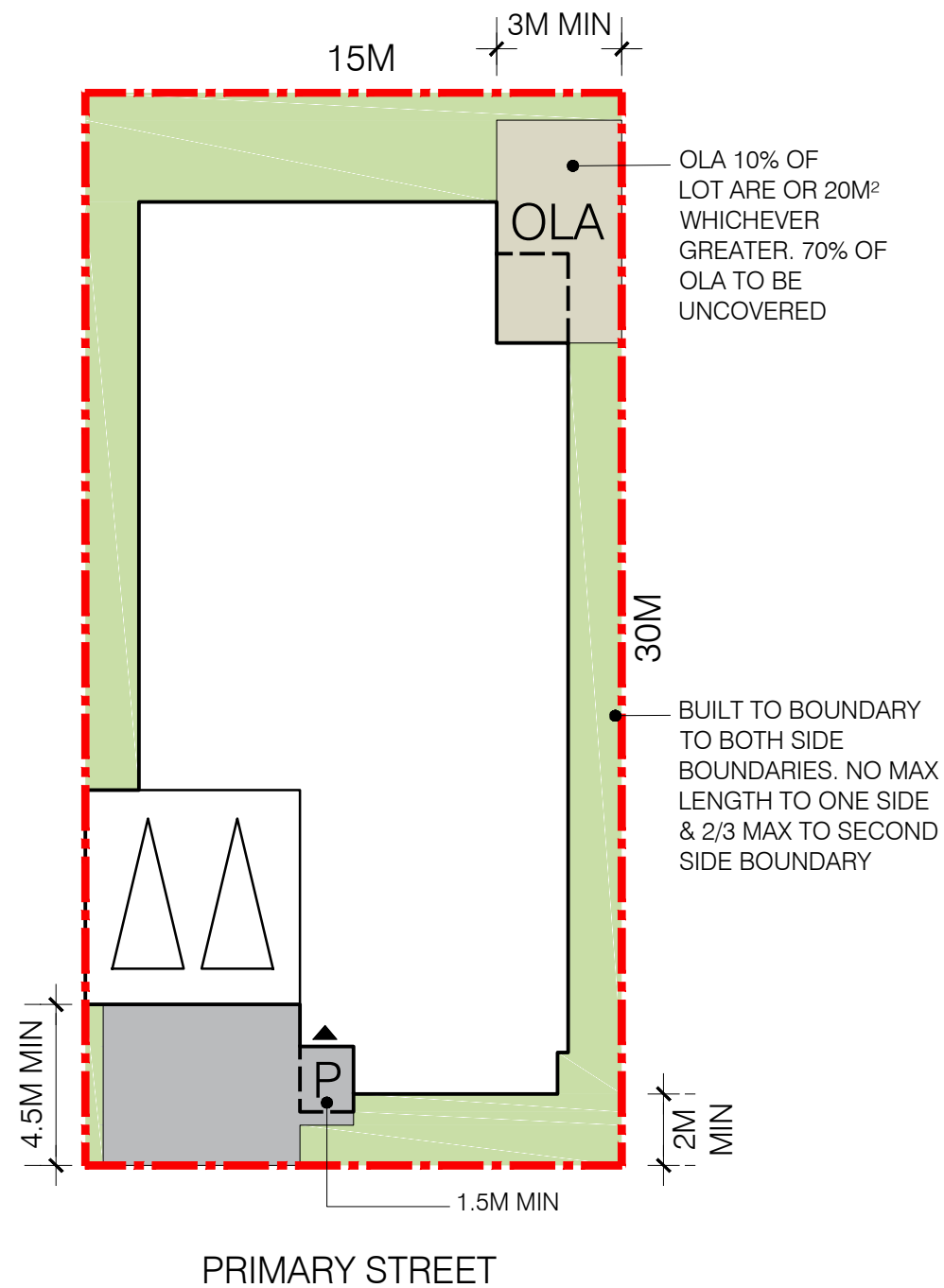


DEVELOPMENT PROVISIONS

Street Setbacks	Lot Boundary Setback	Open Space	Garage Setback and Width	Parking	Overshadowing	Privacy
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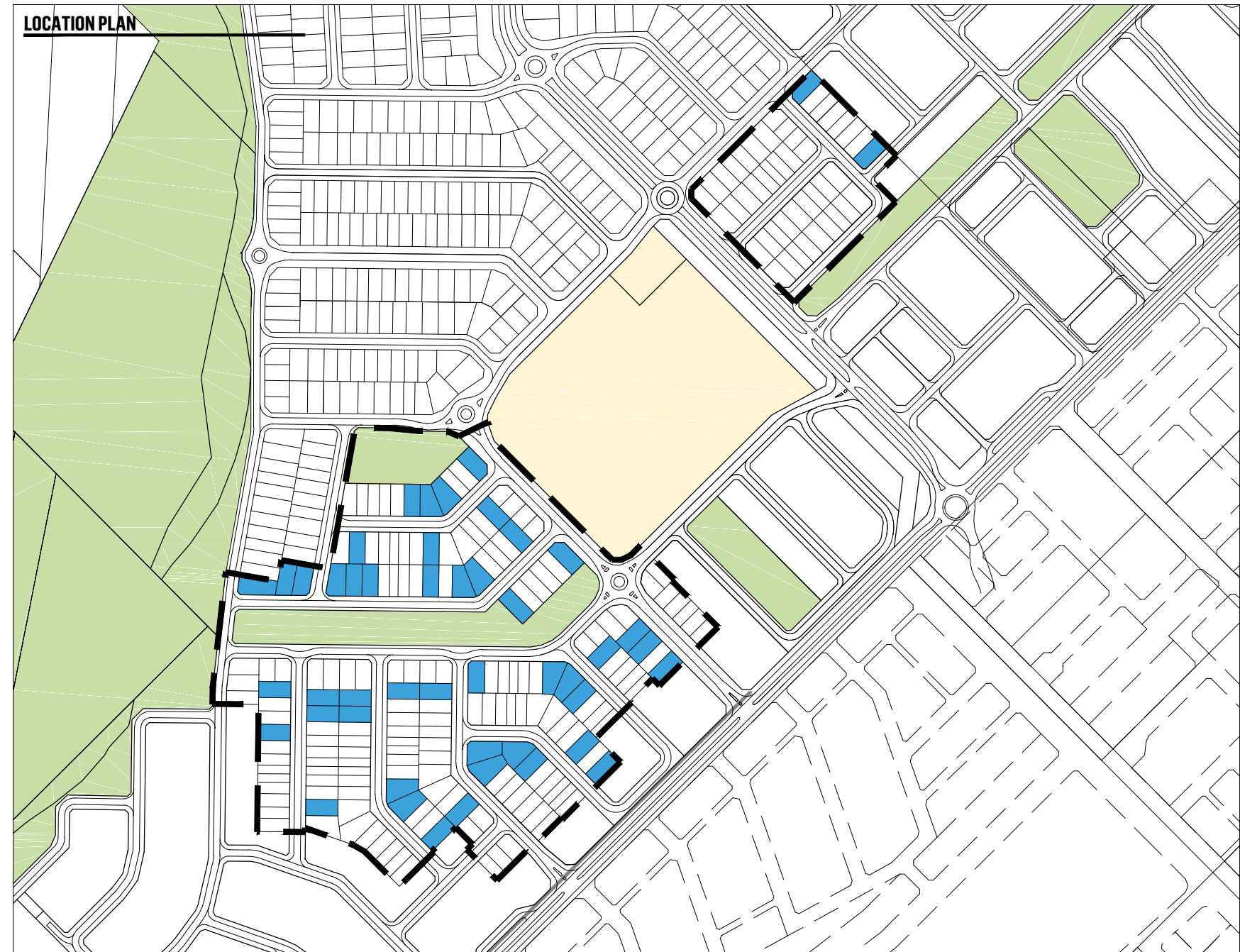


TYPICAL BUILDING FOOTPRINT



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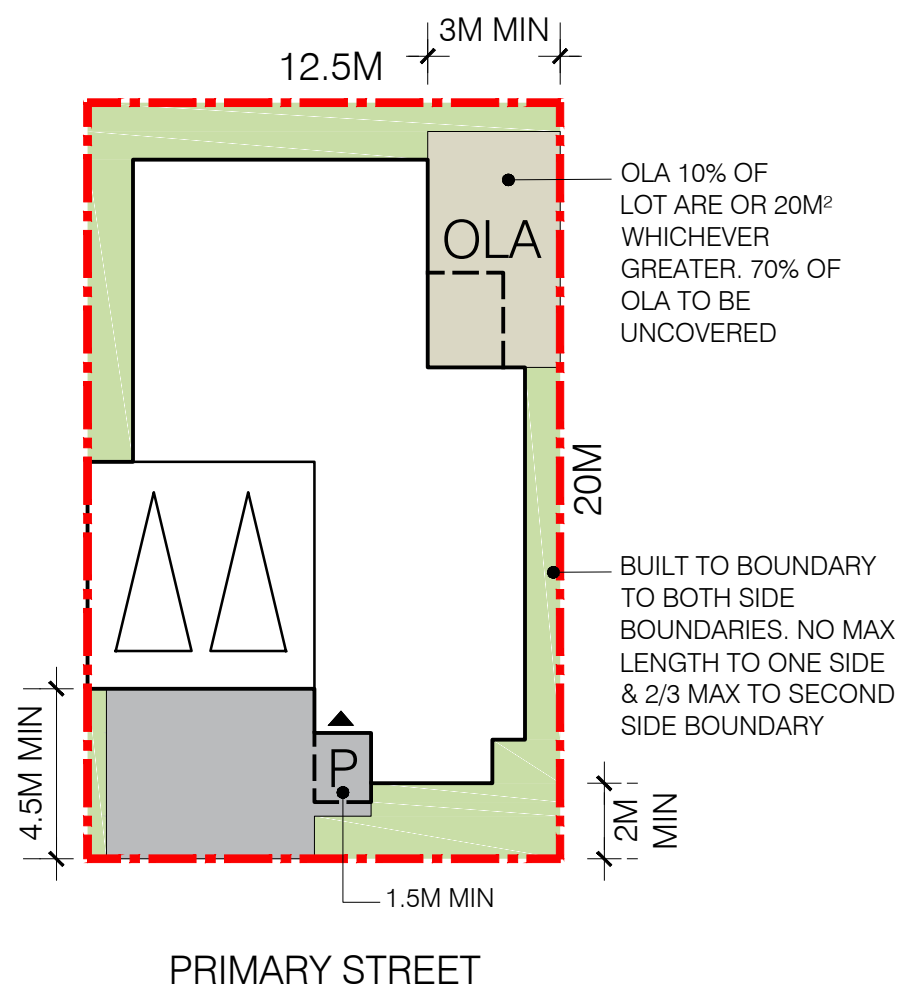
LOCATION PLAN



DEVELOPMENT PROVISIONS

Street Setbacks	Lot Boundary Setback	Open Space	Garage Setback and Width	Parking	Overshadowing	Privacy
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TYPICAL BUILDING FOOTPRINT



1:200 @ A3

LOCATION PLAN



DEVELOPMENT PROVISIONS

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Secondary Street: Min 1m	Boundary Walls: To both side boundaries subject to: <ul style="list-style-type: none"> 2/3 max length to one side boundary 1/3 max length second side boundary for wall height 3.5m or less	At least 70% of OLA to be uncovered OLA to have a min 3m length and width No other open space provisions apply				



SURBURBAN DEVELOPMENT PROVISION (R35) - TYPICAL 12.5 x 20M
Sprintime - Haynes Farm

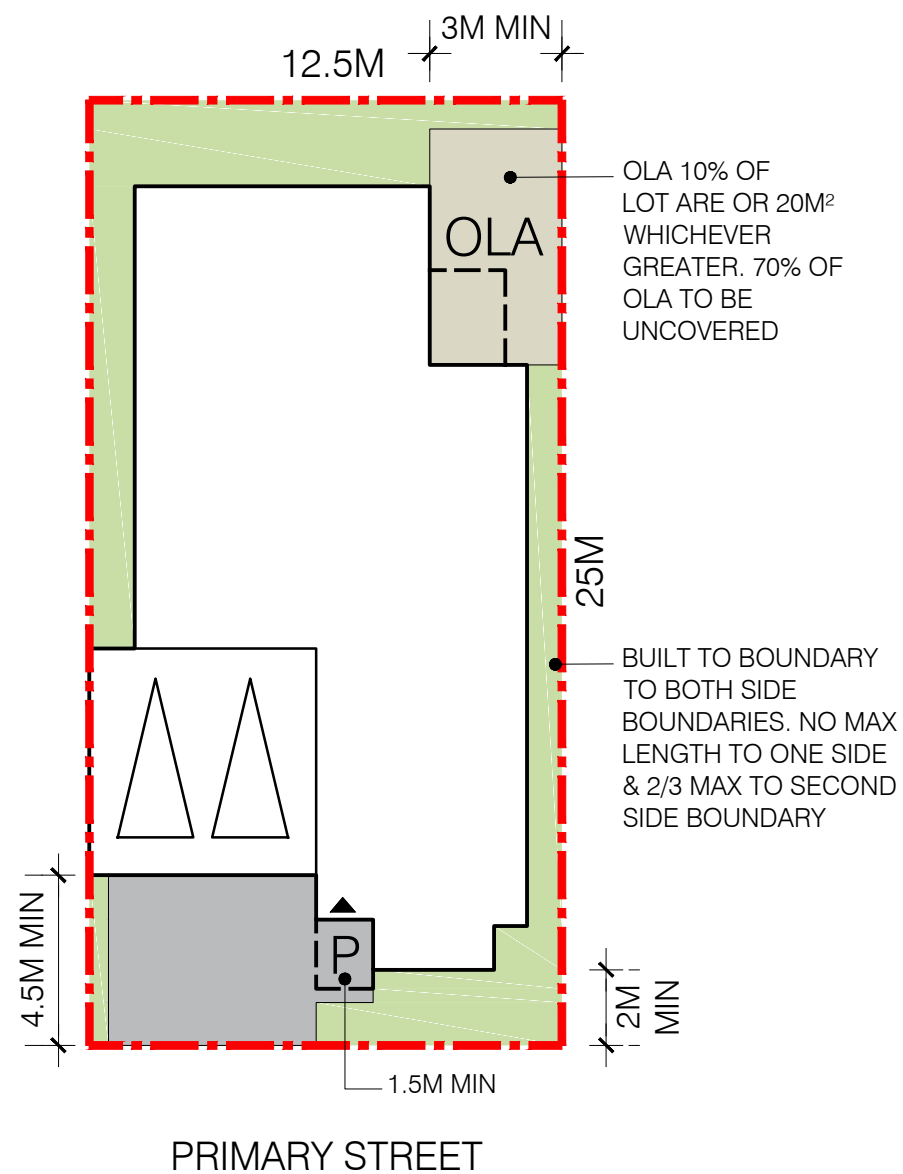
Level 14, The Quadrant, 1 William Street | Perth WA 6000 Australia | +61 8 9346 0500 | URBIS Pty Ltd | ABN 50 105 256 228

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CLIENT
Urban Quarter

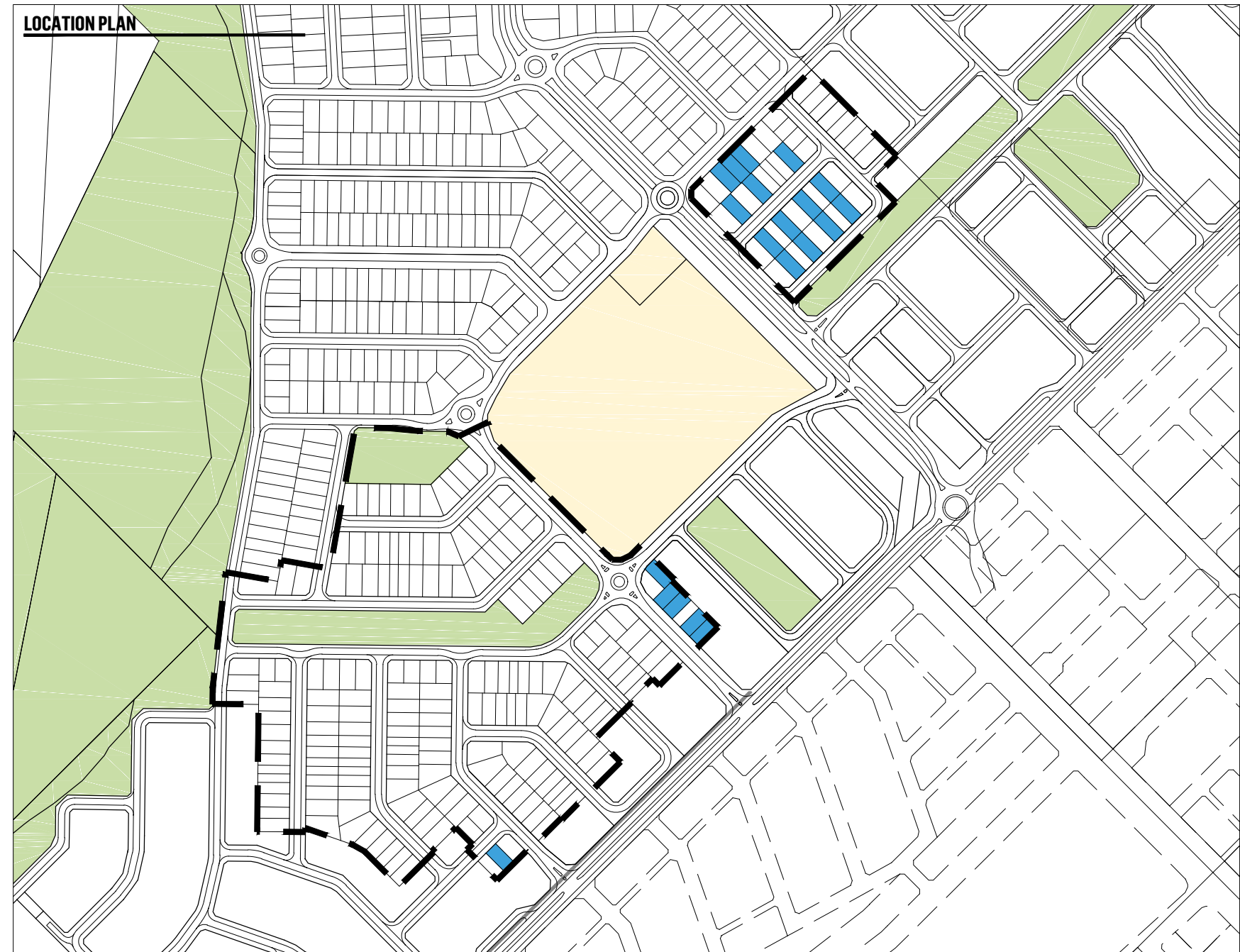
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DATE 22/11/21
DRAWING NO. 31.4
REVISION b

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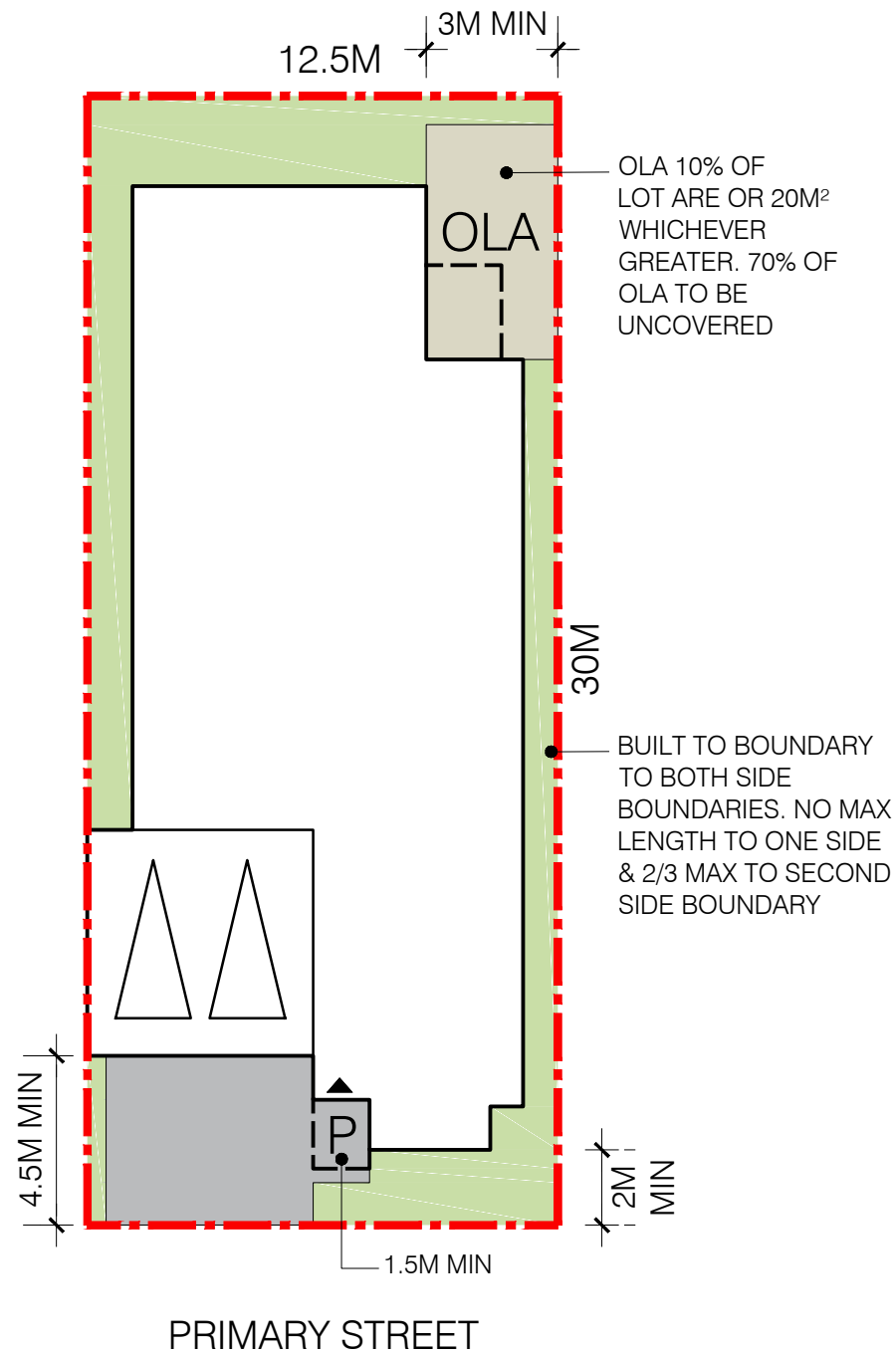
LOCATION PLAN



DEVELOPMENT PROVISIONS

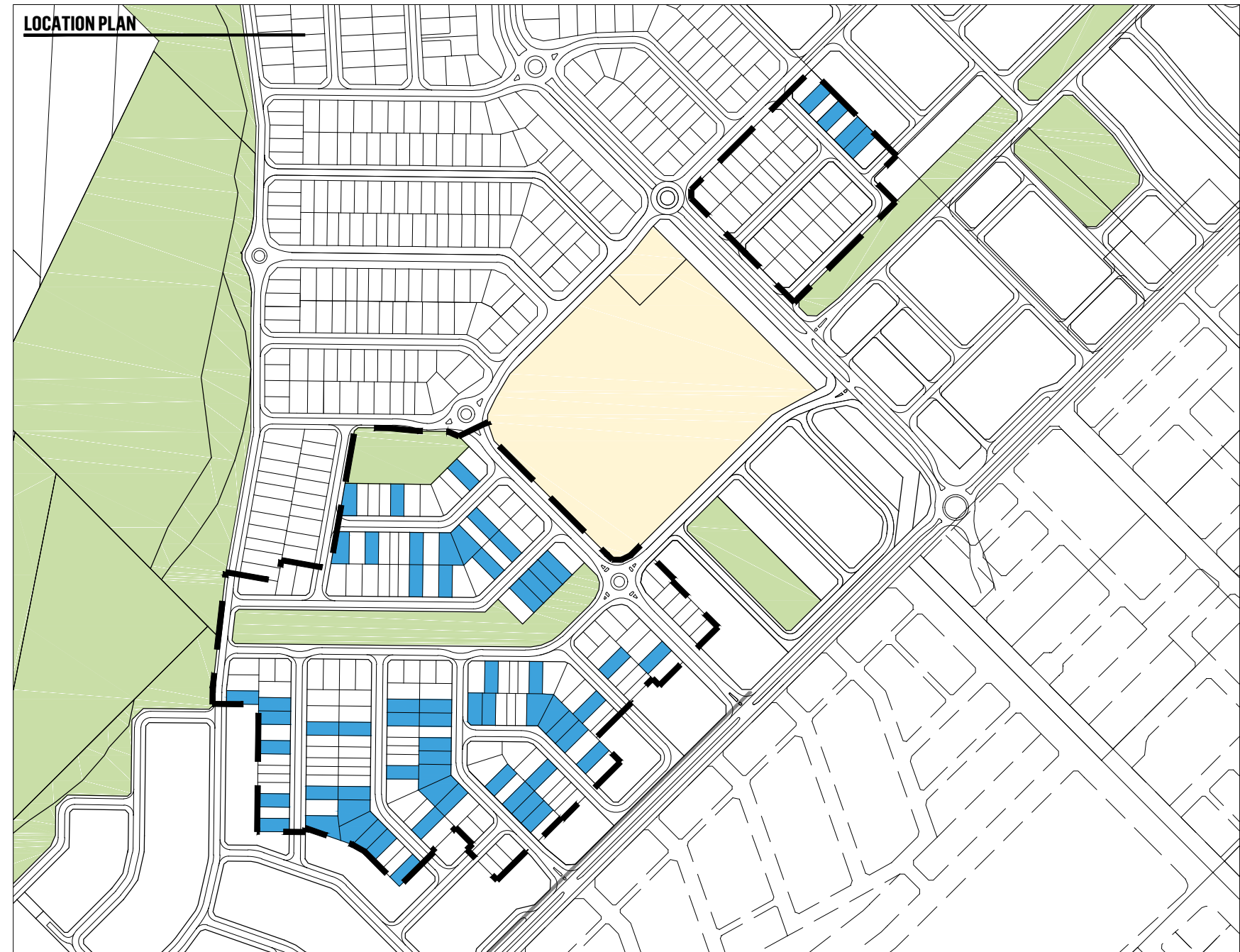
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TYPICAL BUILDING FOOTPRINT



1:200 @ A3

LOCATION PLAN

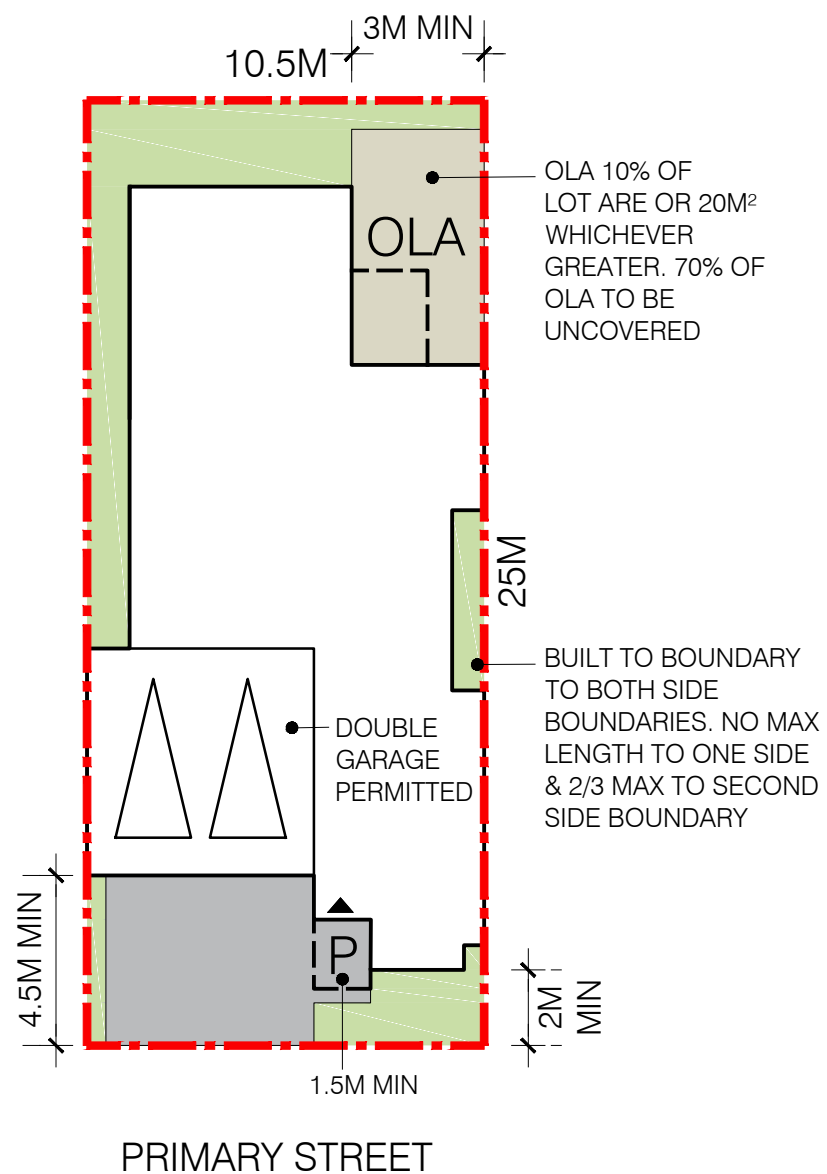


DEVELOPMENT PROVISIONS

Street Setbacks	Lot Boundary Setback	Open Space	Garage Setback and Width	Parking	Overshadowing	Privacy
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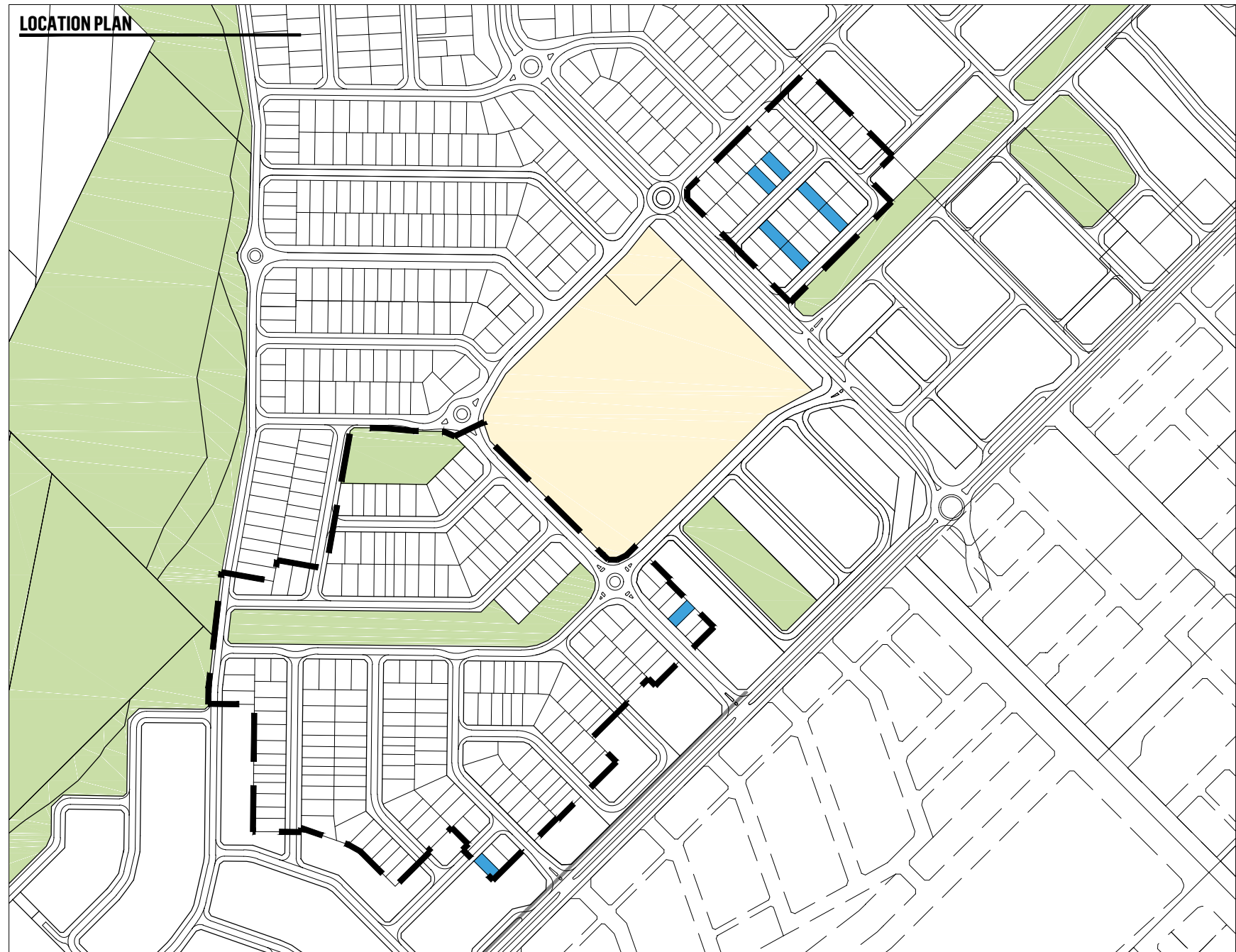


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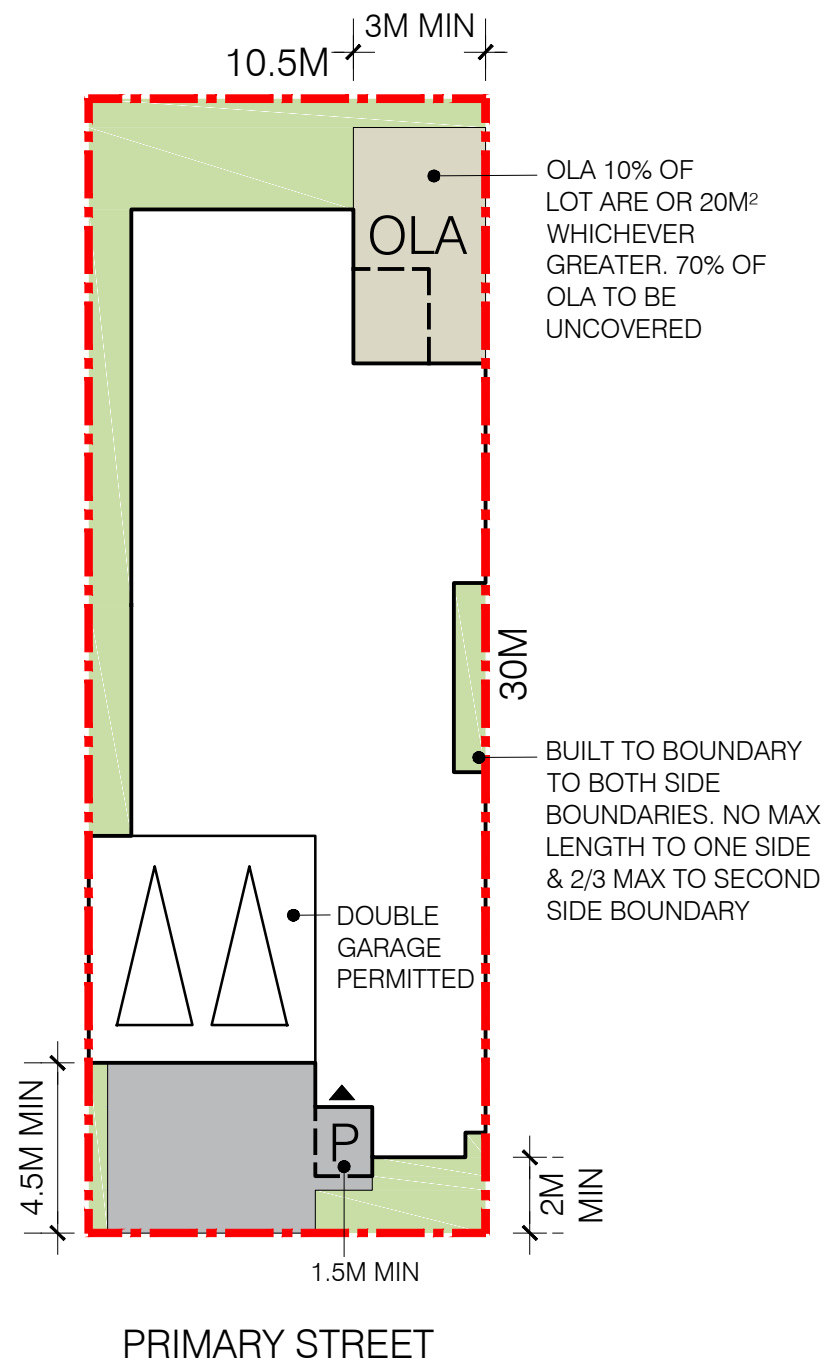
LOCATION PLAN



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Street Setbacks	Lot Boundary Setback	Open Space	Garage Setback and Width	Parking	Overshadowing	Privacy
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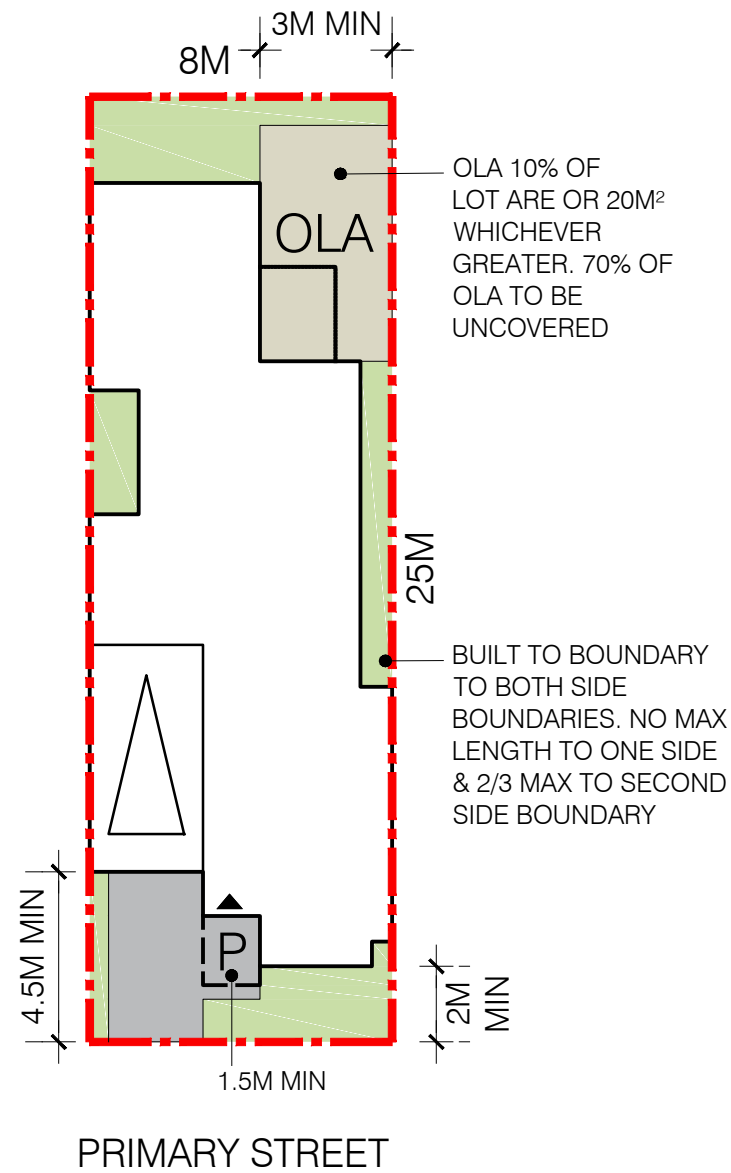
LOCATION PLAN



DEVELOPMENT PROVISIONS

Street Setbacks	Lot Boundary Setback	Open Space	Garage Setback and Width	Parking	Overshadowing	Privacy
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TYPICAL BUILDING FOOTPRINT



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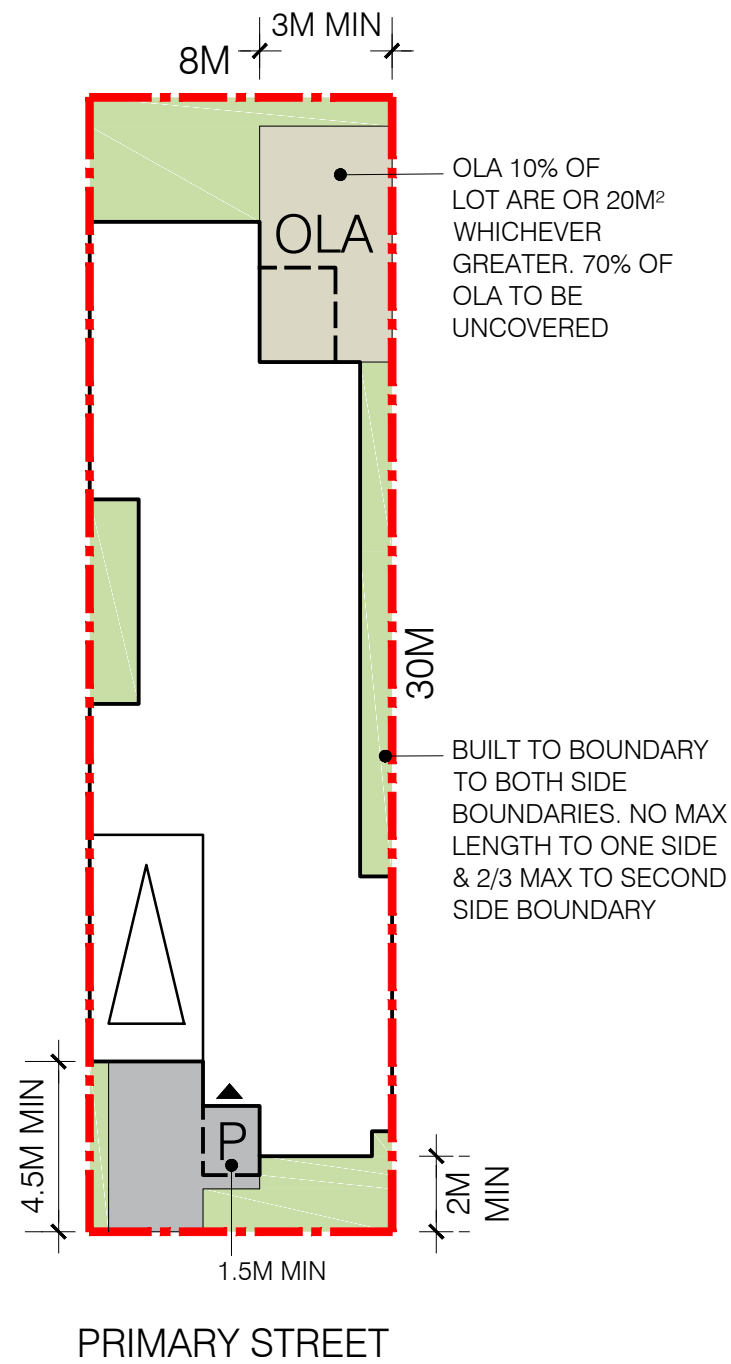
LOCATION PLAN



DEVELOPMENT PROVISIONS

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TYPICAL BUILDING FOOTPRINT



PRIMARY STREET

1:200 @ A3

LOCATION PLAN



DEVELOPMENT PROVISIONS

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