



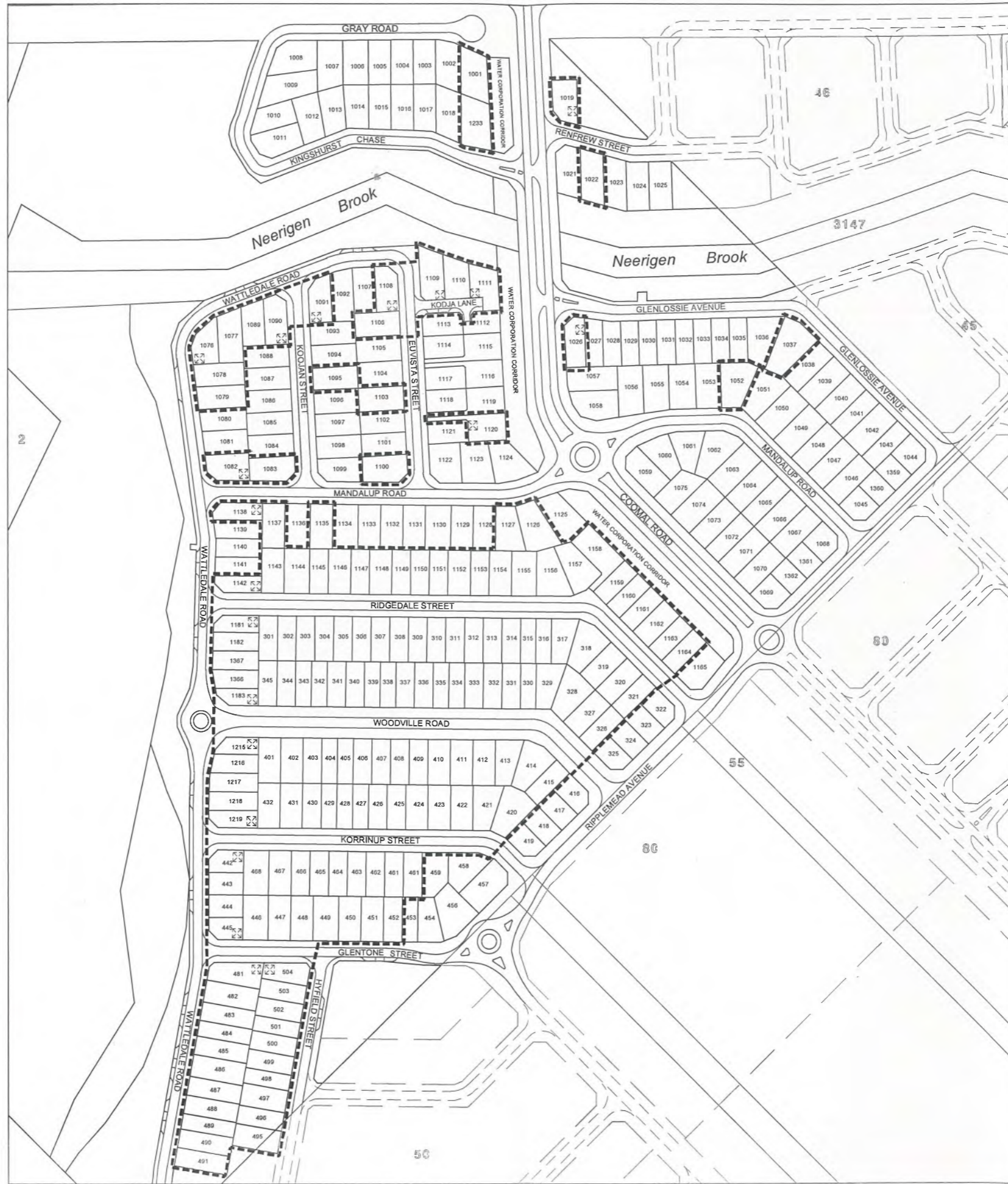
LEGEND

- LDP Application Area
- ☒ Garage Location

ENDORSEMENT TABLE

This Local Development Plan has been approved by the Executive Director, Planning of the Metropolitan Redevelopment Authority.

Executive Director, Planning _____ Date 17/2/20



LDP PROVISIONS

The provisions of the Armadale Redevelopment Scheme 2 (Scheme 2), the draft Wungong Urban Water Project Area Design Guidelines (draft Design Guidelines) and State Planning Policy 3.1 Residential Design Codes (R-Codes) are varied as detailed within this Local Development Plan (LDP). All other requirements of the Scheme 2, draft Design Guidelines and R-codes shall be satisfied in all other matters, to the discretion of the MRA.

The Suburban Zone place code applies to all lots contained within the Local Development Plan unless otherwise noted. A residential density coding of R35 applies to the Suburban Zone. Consultation with adjoining or other land owners to achieve a variation to the Scheme 2, draft Design Guidelines and R-Codes, as provided for by the Local Development Plan, is not required.

This Local Development Plan is to be read in conjunction with LDP's No. 1, 2, 5 & 6, which provide additional setback, garage width, fencing, fire management and noise⁴ attenuation requirements for lots 315, 316, 330, 334, 335, 338, 339, 342, 343, 404, 405, 427-429, 484, 489, 498, 501, 1001, 1019, 1022, 1076-1079, 1089-1091, 1108-1111, 1120 & 1233.

OPEN SPACE

1. The open space requirement may be reduced to a minimum 40% of the lot provided that:
 - The outdoor living area is oriented to the north or east for optimal solar access;
 - The outdoor living area is consistent with the deemed-to-comply provisions of part 5.3.1 of the Residential Design Codes; and
 - The location of the outdoor living area does not conflict with any other local development plan.

SITE ACCESS AND GARAGES

2. Garages to be located in accordance with the nominated location on the LDP, minor discretions to garage location may be applied.

**METROPOLITAN REDEVELOPMENT
AUTHORITY**
4 FEB 2020
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